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## PCI OR DEFECTS REPORT

1234 MAIN STREET,  
SYDNEY NSW 2227

BUYER NAME  
08/06/2023

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Inspector  
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The purpose of the inspection is to identify defective items that do not meet the minimum standard outlined in Australian Standard and the Guide to Standards and Tolerances. The inspection and reporting is limited to a visual assessment of structure in accord with AS 4349.1 appendix "C" or if not a pre-purchase report then the report complies with AS4349.0. This is a general appraisal only and cannot be relied on its own, a further inspection by specialist and qualified trades is strongly recommended.

**In preparing this report I have referred to:**

- National Construction Code (NCC) noting that the Building Code of Australia (BCA) forms Volumes 1 and 2 of the NCC
  
- Australian Standards (AS) and Australian & New Zealand Standards (AS/NZS), which the NCC adopts by reference;
  
- Australian Standards and Australian & New Zealand Standards that provide guideline information eg. not adopted by reference to the NCC; and
  
- NSW Fair Trading Guide to Standards and Tolerances 2017 (FTG).

**In this report all references:**

- to the NCC are references to the NCC Volume 2 Class 1 and Class 10 Buildings Amendment 2019
  
- to AS and AS/NZS are references to Standards adopted by NCC Amendment 2019 or (if containing guideline information) to Standards current at the time of the Works.

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# SUMMARY

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MINOR DEFECT

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- ⊖ 2.1.1 Interior - Doors: Ends not painted
- ⊖ 2.1.2 Interior - Doors: Damaged
- ⊖ 2.2.1 Interior - Windows: Out of plumb
- ⊖ 2.3.1 Interior - Floors: Cleaning
- ⊖ 2.3.2 Interior - Floors: Out of level
- ⊖ 2.4.1 Interior - Walls: Bow in wall/out of plumb
- ⊖ 2.4.2 Interior - Walls: Poor level of plasterboard finish
- ⊖ 2.4.3 Interior - Walls: Skirting Loose or missing
- ⊖ 2.5.1 Interior - Ceilings: Poor level of finish for plasterboard
- ⊖ 2.6.1 Interior - Wet Areas: Grout defective
- ⊖ 2.6.2 Interior - Wet Areas: Tile damage
- ⊖ 2.6.3 Interior - Wet Areas: Waterstop angle finish height
- ⊖ 2.6.4 Interior - Wet Areas: Poor sealant installation
- ⊖ 2.6.5 Interior - Wet Areas: Waterstop angle length
- ⊖ 2.6.6 Interior - Wet Areas: Inadequate fall - bathroom floor
- ⊖ 2.6.7 Interior - Wet Areas: No waterstop angle incorrectly installed
- ⊖ 2.8.1 Interior - Sink, Cabinetry & Benchtops: Sealant required
- ⊖ 2.8.2 Interior - Sink, Cabinetry & Benchtops: cabinet doors
- ⊖ 3.1.1 Exterior - Exterior: Sealant required - Junctions
- ⊖ 3.1.2 Exterior - Exterior: Weeps inadequate
- ⊖ 3.1.3 Exterior - Exterior: Articulation joints do not extend
- ⊖ 3.1.4 Exterior - Exterior: Mortar defective
- ⊖ 3.1.5 Exterior - Exterior: Damage bricks
- ⊖ 3.4.1 Exterior - Eaves and fascia: Poor workmanship
- ⊖ 3.5.1 Exterior - External windows: Poor workmanship
- ⊖ 3.5.2 Exterior - External windows: Sealant required - Doors & Windows
- ⊖ 3.5.3 Exterior - External windows: Lintel sag
- ⊖ 3.7.1 Exterior - Balcony: Poor workmanship

- ⊖ 3.7.2 Exterior - Balcony: No overflow installed
- ⊖ 3.7.3 Exterior - Balcony: Inadequate fall
- ⊖ 3.7.4 Exterior - Balcony: Cleaning
- ⊖ 3.7.5 Exterior - Balcony: Possible waterproof penetration
- ⊖ 3.12.1 Exterior - Pool: Cracked, chipped or scratched tiles
- ⊖ 3.12.2 Exterior - Pool: Grout defective
- ⊖ 3.15.1 Exterior - Driveways and paths: Expansion joint
- ⊖ 3.15.2 Exterior - Driveways and paths: Inadequate fall away from building
- ⊖ 4.4.1 Roof - Flashings/cappings: Flashing gaps
- ⊖ 4.4.2 Roof - Flashings/cappings: No Pressure flashing installed

# 1: INSPECTION DETAILS

## Information

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### Direction Property Faces

N/E

### Type of Building

Two Storey

### Construction Type

Brick Veneer, Rendered Hebel,  
Rendered Masonry

### Roof Type/Style

Gable

### Roof Cladding

Metal

### Occupancy

Furnished, Occupied

If the property is furnished we can not guarantee that further defects won't be found in the future when owners possessions and furniture has been removed.

### Weather Conditions

Cloudy

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## 2: INTERIOR

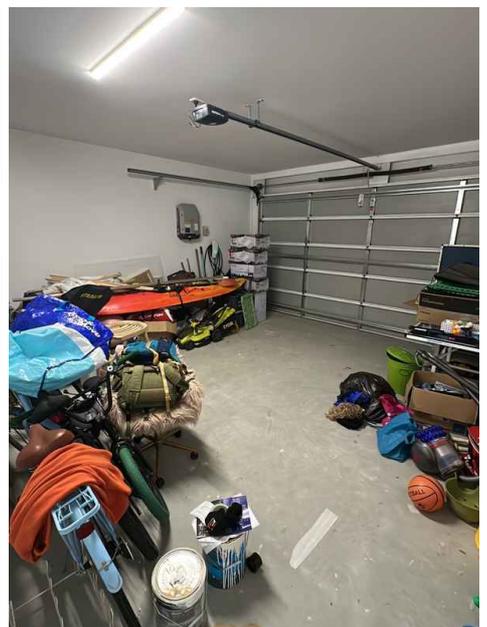
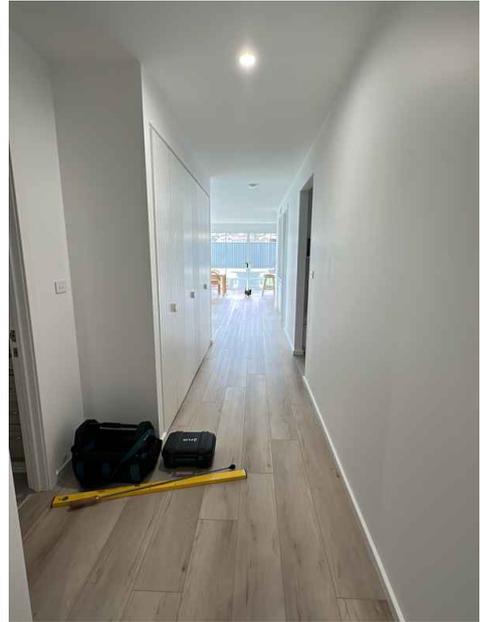
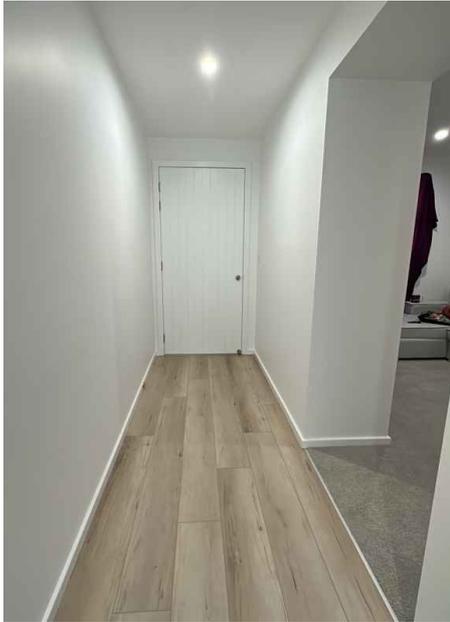
		F	R	M	U	N
2.1	Doors		X			
2.2	Windows		X			
2.3	Floors		X			
2.4	Walls		X			
2.5	Ceilings		X			
2.6	Wet Areas		X			
2.7	Lighting Fixtures, Switches & Receptacles	X				
2.8	Sink, Cabinetry & Benchtops		X			
2.9	Miscellaneous					
2.10	Stairs	X				

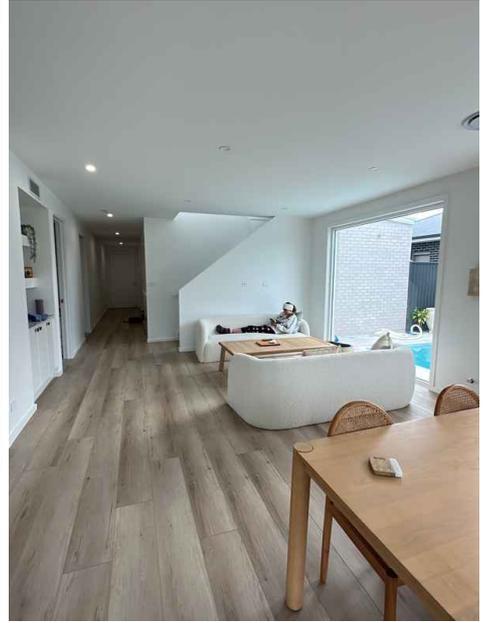
F = Condition Visually Fine    R = Repair Recommended    M = Major Defect    U = Unable to inspect due to access    N = Not Applicable

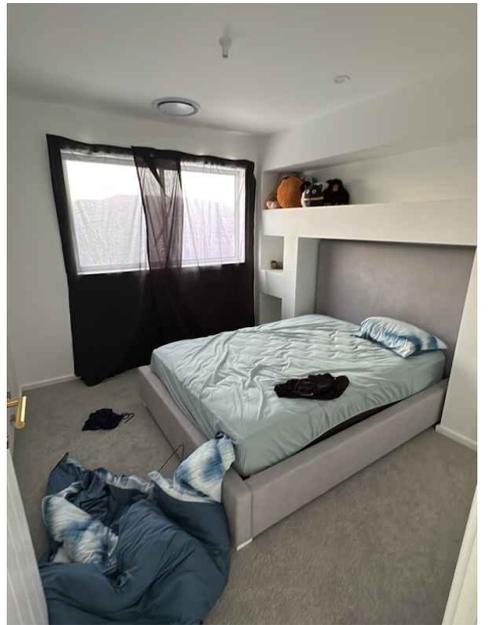
### Information

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Photos of interiors







## Limitations

## OWNER POSSESSIONS

There are owner's possessions, items in cupboards/under sink & personal belongings present which is preventing a thorough inspection of some areas of the Kitchen from being undertaken.

## Defects

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### 2.1.1 Doors

#### ENDS NOT PAINTED

Bottoms and tops of doors have not been painted/sealed. This is defective please see the below reference to The Guide to Standards and Tolerances

#### 9.6 Sealing of door edges

*Door leaves are defective if they do not have all sides, top and bottom edges sealed/painted in accordance with the manufacturer's specifications.*



Front door



Downstairs bedroom



Laundry cavity slider



Laundry cavity slider



Laudnry external door

2.1.2 Doors

**DAMAGED**

**13.4 Natural characteristics and mechanical imperfections/damage**

*Unless the contract specifies otherwise, natural characteristics such as gum pockets, surface splits or sap bleeding are defective if they can be seen from a normal viewing position.*

*Mechanical imperfections/damage, holes or any other unfilled depressions are defective if they can be seen from a normal viewing position.*



Sliding door system to the backyard has been damaged.

2.2.1 Windows

**OUT OF PLUMB**

**4.3 Straightness of steel and timber frame surfaces - NSW standards and tolerances 2017**

*Frames are defective if they deviate from plane (horizontal or vertical bow) by more than 4 mm in any 2 m length of wall. Refer to Diagram E.*



Door set leading to the backyard has been installed out of square

### 2.3.1 Floors

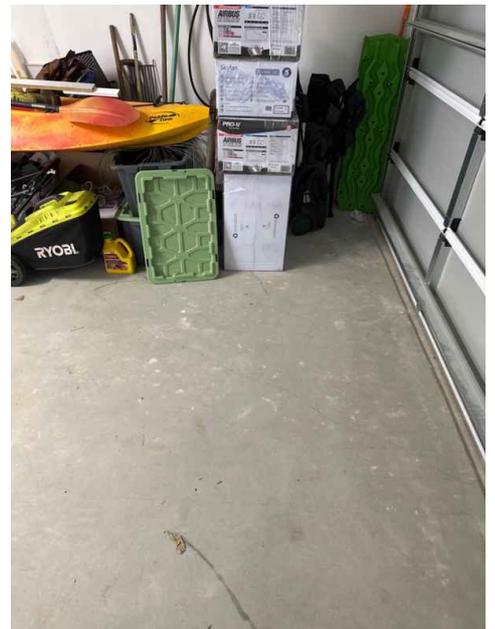
## CLEANING

### 19.8 Cleaning

*Owners are entitled to expect that the building site and works are clean and tidy on completion. Where handover is delayed for any reason, the owner must expect that dust may have settled on interior exposed surfaces.*

*Building sites are defective if they are not clear of building debris.*

*Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned, and shelving, drawers and cupboards are not ready for use.*



Garage floor still has building debris attached and has not been adequately cleaned

### 2.3.2 Floors

## OUT OF LEVEL

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## 15.8 Levelness of timber flooring - The guide to standards and tolerances 2017 NSW

New floors are defective if within the first 24 months of handover they differ in level by more than 10 mm in any room or area, or more than 4 mm in any 2 m length.

Also, the overall deviation of floor level to the entire building footprint shall not exceed 20 mm within 24 months of handover. Refer to Item 1 of this Guide where the new floor is to adjoin an existing floor.

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### 2.4.1 Walls

#### **BOW IN WALL/OUT OF PLUMB**

##### **4.3 Straightness of steel and timber frame surfaces - The guide to standards and tolerances 2017 NSW**

Frames are defective if they deviate from plane (horizontal or vertical bow) by more than 4 mm in any 2 m length of wall.



Wall next to external laundry door is out of plumb by 10mm over 1200mm



Bow in plasterboard between wall and bulkhead in the kitchen is 4mm



Laundry cavity slider has been installed out of plumb



Master bedroom entry wall is out 6mm over 1200mm



Walk-in robe wall out 10mm over 1200mm



Wall next to backing door is out 6mm over 1200mm

#### 2.4.2 Walls

### **POOR LEVEL OF PLASTERBOARD FINISH**

#### **10.13 Level of finish for plasterboard - The guide to standards and tolerances 2017 NSW**

*Unless documented otherwise, a plasterboard finish is defective if Level 4 finish (as defined below) is not provided.*

*A Level 4 finish shall be the default level for gypsum lining, unless specified otherwise. Flat or low sheen paints shall be used for this Level 4.*

*All joints and interior angles shall have tape embedded in jointing cement/jointing compound and a minimum of two separate coats of jointing cement/jointing compound applied over all joints, angles, fastener heads and accessories.*

*All jointing compound shall be finished evenly and be free of tool marks and ridges in preparation for decoration.*



Downstairs bedroom entry



Above wardrobe in downstairs bedroom

#### 2.4.3 Walls

### **SKIRTING LOOSE OR MISSING**

Skirting is loose/missing install/fix as needed



Kitchen

#### 2.5.1 Ceilings

### **POOR LEVEL OF FINISH FOR PLASTERBOARD**

### **10.13 Level of finish for plasterboard - The guide to standards and tolerances 2017 NSW**

*Unless documented otherwise, a plasterboard finish is defective if Level 4 finish (as defined below) is not provided.*

*A Level 4 finish shall be the default level for gypsum lining, unless specified otherwise. Flat or low sheen paints shall be used for this Level 4.*

*All joints and interior angles shall have tape embedded in jointing cement/jointing compound and a minimum of two separate coats of jointing cement/jointing compound applied over all joints, angles, fastener heads and accessories.*

*All jointing compound shall be finished evenly and be free of tool marks and ridges in preparation for decoration.*



Poor patching noted to the garage ceiling

#### 2.6.1 Wet Areas

### **GROUT DEFECTIVE**

***Grout is defective as it is loose and missing - The guide to standards and tolerances 2017 NSW***

#### 12.6 Grouting and joints

*Grouting is defective if it is not carried out in accordance with the requirements of Clause 5.7 of AS 3958.1.*

*Joints are defective if they are not, as far as is practicable, of consistent width and can be seen from a normal viewing position.*

*Finished grout is defective if it is not uniform in colour, smooth, without voids, pinholes or low spots.*

*A) The top surface of the grout may be tooled to provide a contoured depression of no deeper than 1 mm for up to 6 mm wide joint and up to 2 mm for a 6-10 mm wide joint (clause 5.7(e) of AS 3958.1).*

*B) Joint widths for floor tiles should not exceed 3 mm for pressed tiles and 6 mm for extruded tiles (clause 5.4.6 ( c ) (i) of AS 3958.1)*

*C) Joint widths for wall tiles should not exceed 1.5 mm for pressed tiles and 6 mm for extruded tiles (clause 5.4.6(c)(ii) of AS 3958.1).*

*D) Joint alignment should be consistent throughout the installation within a tolerance of 4 mm in 2 m8 (clause 5.4.6(d) of AS 3958.1).*

*Grout is defective if it becomes loose within 24 months of handover.*



No grout installed next to vanity



Gap in grout or sealant noted to the ensuite shower

## 2.6.2 Wet Areas

### **TILE DAMAGE**

Damage to tiles noted.

#### **12.5 Cracked, pitted, chipped, scratched or loose tiles**

*Tiles are defective if they are cracked, pitted, chipped, scratched or loose at handover.*

*After handover, tiles are defective where the builder's workmanship causes the tiles to become cracked, pitted, chipped or loose within 24 months.*



Cracked tile in the laundry

## 2.6.3 Wet Areas

### **WATERSTOP ANGLE FINISH HEIGHT**

Waterstop angles do not sit flush with the finished tile heights

#### **4.9.1 Perimeter flashing at floor level openings**

*Whole wet area floor waterproofing shall incorporate;*

*A waterstop that has a vertical leg finishing flush with the top of the finished floor level shall be installed at floor level openings*



Waterstop finishes 6mm below the finished tiled height in the upstairs bathroom

#### 2.6.4 Wet Areas

### **POOR SEALANT INSTALLATION**

#### **12.7 Flexible sealants to junctions**

*Flexible or waterproof sealants to junctions are defective if they are not installed when required by the BCA and AS 3958.1, or in accordance with the manufacturer's installation requirements.*



Poor sealant installation around the powder room toilet



Either side of the powder room benchtop

## **WATERSTOP ANGLE LENGTH**

The waterstop angle should extend all the way to the frame and have a tight finish without any gaps.

### **4.9.1 Perimeter flashings a floor level openings**

*The following requirements apply to perimeter flashings at door level openings;*

*(b) Waterproofing other than whole wet area floor waterproofing shall incorporate a water stop that;*

*(i) Has a vertical leg that finishing flush with the top of the finished floor level installed at floor level openings;  
and*

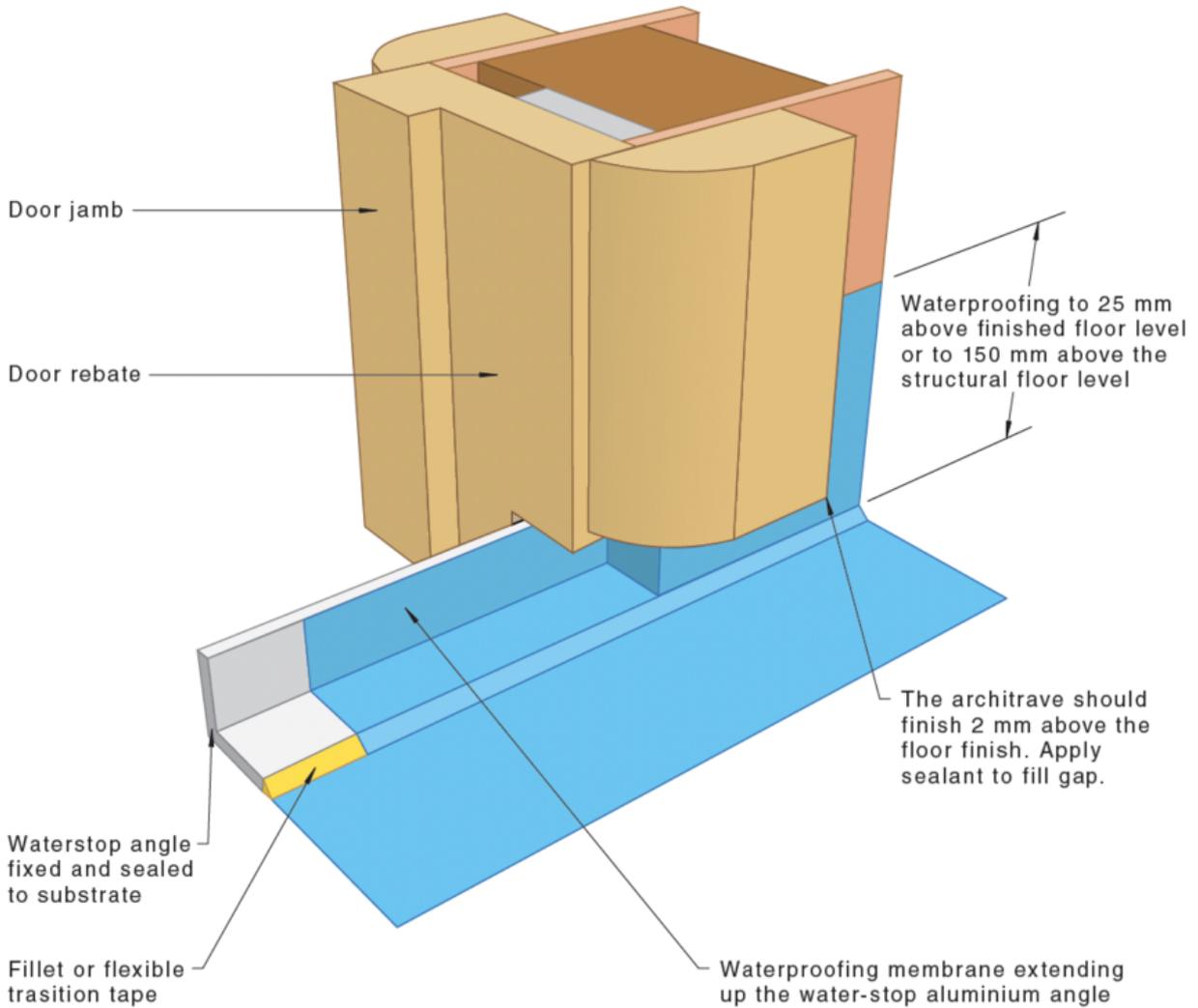
*(ii) Is integral with the perimeter flashing*

*(c) Perimeter flashing to wall, floor surfaces and door openings shall;*

*(i) be continuously sealed to the horizontal surface*

*(ii) Have a vertical leg of a minimum of 25mm above the finished floor level except across doorways; and*

*(iii) Have a horizontal leg with a minimum width of 50mm*



NOTE The waterstop angle may be located at the face of the door jamb or at the rebate.

**Figure 4.9.1(A) — Example of liquid waterproofing at door opening framework**



Downstairs ensuite



The laundry waterstop angle does not extend the full required length. This is non compliant

## 2.6.6 Wet Areas

### **INADEQUATE FALL - BATHROOM FLOOR**

#### 3.3 Falls in floor finishes

Where required, falls in floor finishes shall allow all surface water to drain without ponding except for residual water remaining due to surface tension.

For general bathroom floor area, the minimum fall to the waste shall be 1:100.

#### NOTES:

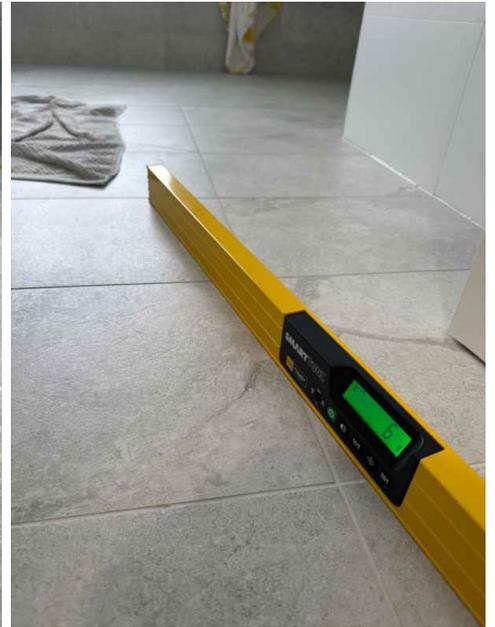
1. For information on falls in the floor finishes, see Appendix B.
2. For information on the laying of tiles to enable them to drain without retaining water, see AS 3958.1.



Fall should be minimum 12mm. Only 8mm has been achieved



Downstairs ensuite only achieved 4mm fall. This should be minimum 12mm



Upstairs bathroom has only achieved 6mm fall over 1200mm. This should be 12mm

## 2.6.7 Wet Areas

### **NO WATERSTOP ANGLE INCORRECTLY INSTALLED**

#### **4.8 Waterstops - AS 3740:2021 Waterproofing of domestic wet areas**

##### 4.8.1 General

*Waterstop angles shall be installed to retain water in the shower or the wet area. Waterstops are an integral part of the waterproofing system and shall conform with clause 4.8 and 4.9*

##### 4.9 Door openings

###### 4.9.1 Perimeter flashing at door level openings

*The follow requirements apply to perimeter flashings at floor level openings*

*(a) Whole wet area floor shall incorporate;*

***(i) A waterstop that has the vertical leg finish flush with the top of the finished floor shall be installed at floor level openings; and***

*(ii) A floor membrane terminated to create a waterproof seal to the waterstop and to the perimeter flashing*



Waterstop angle should extend to the top finished tiled height outside of the shower. The waterstop angle installed only sits 3mm above the finished tiled height in the shower



Waterstop should return around the tile under the cavity slider in the laundry

### 2.8.1 Sink, Cabinetry & Benchtops

#### **SEALANT REQUIRED**

##### **12.7 Flexible sealants to junctions**

*Flexible or waterproof sealants to junctions are defective if they are not installed when required by the BCA and AS 3958.1, or in accordance with the manufacturer's installation requirements.*



Kitchen benchtop

### 2.8.2 Sink, Cabinetry & Benchtops

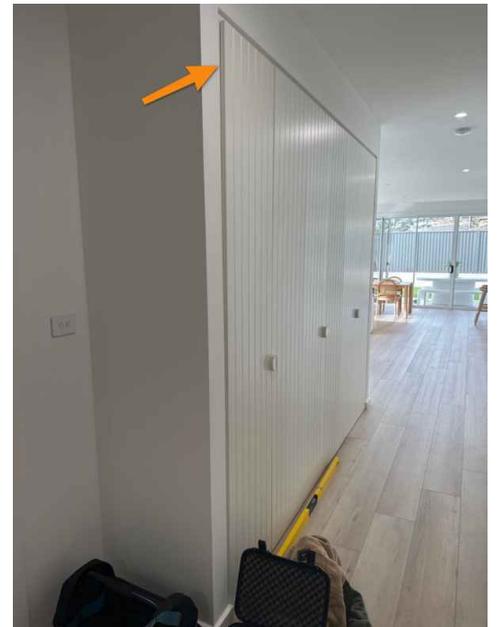
#### **CABINET DOORS**

Vanity cabinet door defective as it does not close as intended.

#### 11.4 Bench tops, cabinet doors and drawer fronts

Unless otherwise specified, cabinet door and drawer fronts are defective if they are not aligned, or do not have consistent gaps between them at handover, and can be seen from a normal viewing position.

Where the time limit for defects in bench tops, cabinet doors, drawer fronts and similar joinery is not documented, it is to be taken as six months from completion.



Cabinet door installed 7mm out plumb and does not line up with the wall

## 3: EXTERIOR

		F	R	M	U	N
3.1	Exterior		X			
3.2	Entry	X				
3.3	Alfresco	X				
3.4	Eaves and fascia		X			
3.5	External windows		X			
3.6	External Doors	X				
3.7	Balcony		X			
3.8	Deck					X
3.9	Pergola					X
3.10	Fence	X				
3.11	Drainage	X				
3.12	Pool		X			
3.13	Miscellaneous					X
3.14	Strata areas					X
3.15	Driveways and paths		X			

F = Condition Visually Fine    R = Repair Recommended    M = Major Defect    U = Unable to inspect due to access    N = Not Applicable

### Information

Photos of external areas



**Alfresco: Photo**



**Balcony: Photo**



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## Limitations

Exterior

### **GENERAL DISCLAIMER**

Refer to Section 2D of the Terms And Conditions section of this report.

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Exterior

### **SECOND STORY**

Only sample areas of the second story exterior was inspected due to height limitations. Areas such second story external windows, window arcitraves, trim, fascia and the like were not inspected.

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Exterior

### **OWNERS POSSESSIONS**

Owners possession/storage restricted the view of some external areas

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## Defects

3.1.1 Exterior

### **SEALANT REQUIRED - JUNCTIONS**

#### ***12.7 Flexible sealants to junctions - The guide to standards and tolerances 2017 NSW***

*Flexible or waterproof sealants to junctions are defective if they are not installed when required by the BCA and AS 3958.1, or in accordance with the manufacturer's installation requirements.*

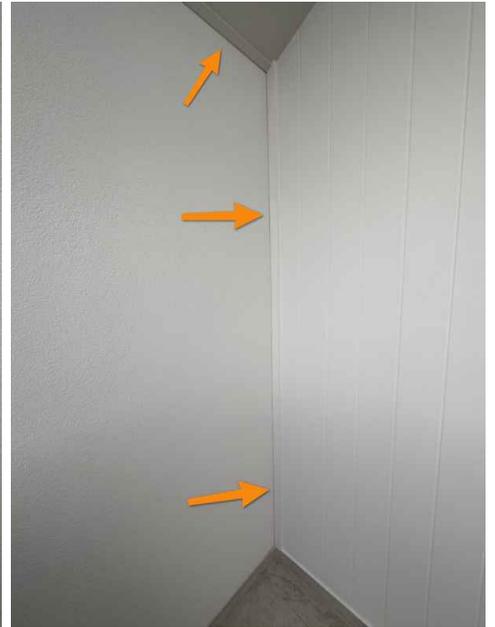
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Join between 2 panels requires sealing



Sealant required between timber trim and rendered panel on balcony



Sealant required between materials on balcony



Flexible sealant should be installed to all floor and wall junction areas. This is required to all external areas



Sealant required at junctions

### 3.1.2 Exterior

## WEEPS INADEQUATE

### 3.3.5.9 Weepholes - National construction code 2019

(a) Except where excluded by (b), open perpendicular joints (weepholes) must be created in the course immediately above any flashing (including above any damp-proof course acting as a flashing) and be—  
 (i) a minimum of 50 mm in height, by the width of the vertical mortar joint; and  
 (ii) at not more than 1.2 m centres; and

(b) Weepholes are not required in the following locations:

- (i) Where head openings are less than 1.2 m wide.
- (ii) Beneath window and door sills.



Weeps rendered over and missing



Weeps painted over and blocked. These weep holes have been installed at the incorrect height

### 3.1.3 Exterior

## ARTICULATION JOINTS DO NOT EXTEND

All articulation joints that were inspected do not extend the full length of the wall and have been rendered over

### 3.3 Movement; control joints in masonry walls - *The guide to standards and tolerances 2017 NSW*

*Where required, control joints are defective if not installed as required by the Building Code of Australia or in accordance with the contract documents.*

*Control joints are defective if they do not extend through the full thickness of masonry skin. Where required, control joints are defective if they are not sealed in accordance with AS 3700.*

*Unless documented otherwise, flexible mastic or sealant is defective if it does not match as close as practicable the colour of the adjacent surface, and has not been applied in accordance with the manufacturer's installation instructions.*



The articulation joint does not extend as the window has been installed tight to the brickwork. The window should have a 10mm gap that is sealed to allow for movement



Articulation joints blocked by door system being installed tight to the brickwork



Blocked by window

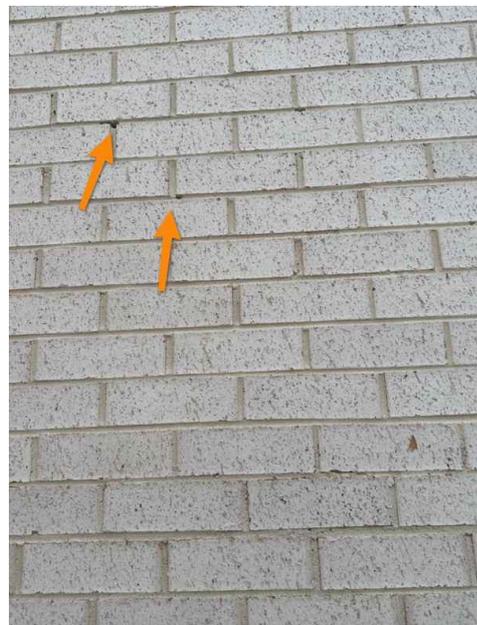


3.1.4 Exterior  
**MORTAR DEFECTIVE**

Some areas where mortar was defect has attempted to be fixed. This has been done with mortar that does not match the original. This is defective and outline in the guide of standards and tolerances

### **3.9 Voids and holes in mortar - Guide to standards and tolerances 2017**

*Voids and holes in mortar in masonry walls, with the exception of weepholes and vents, are defective if they are visible from normal viewing position, which is 1.5 metres.*



Gaps in the mortar noted. This is common throughout the property and the photos are only an example.

#### 3.1.5 Exterior

### **DAMAGE BRICKS**



#### 3.4.1 Eaves and fascia

### **POOR WORKMANSHIP**

#### **DOMESTIC BUILDING CONTRACTS ACT 1995 - SECT 8**

*Implied warranties concerning all domestic building work*

*The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract*

(a) *the builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract;*



Gaps noted between the ceiling lining and render cladding. Either a trim or sealant should be installed for an adequate finish

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### 3.5.1 External windows

## **POOR WORKMANSHIP**

### **DOMESTIC BUILDING CONTRACTS ACT 1995 - SECT 8**

*Implied warranties concerning all domestic building work*

*The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract—*

*(a) the builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract;*

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### 3.5.2 External windows

## **SEALANT REQUIRED - DOORS & WINDOWS**

### **9.2 Weather-tightness of windows, doors, and window and door frames**

*Window frame and door frame installations are defective if, due to the builder's workmanship, they leak or cause unhealthy or dangerous conditions, loss of amenity for occupants, undue dampness or deterioration of building elements.*

*Windows and doors are defective if, when closed, they allow the entry of water.*

*Water entry through doors is not defective if they are not intended to prevent water entry. For example, vehicle access doors.*

*Windows and doors are defective if they are not sealed in accordance with the requirements of the Building Code of Australia, where required.*

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### 3.5.3 External windows

#### **LINTEL SAG**

The lintel outside the kitchen has sagged. This means the steel lintel installed is not adequate to support the weight of the brick veneer wall. It is recommended the lintel be checked against the engineer plans to determine if the correct one was installed.



Kitchen window



Kitchen window

### 3.7.1 Balcony

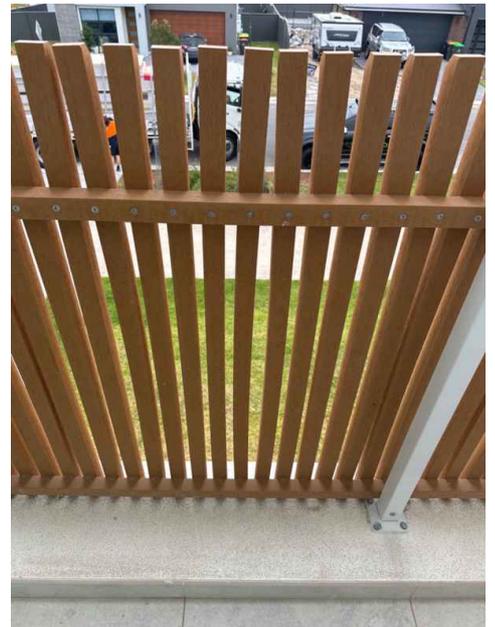
#### **POOR WORKMANSHIP**

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*(a) the builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract;*



Balustrade installed poorly with uneven gaps common

### 3.7.2 Balcony

#### **NO OVERFLOW INSTALLED**

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### **14.7 Ponding on waterproof decks and balconies - NSW Guide to standards and tolerances 2017**

Waterproof decks and balconies are defective if water ponds (with the exception of residual water remaining due to surface tension) or does not drain to the outer edge or a stormwater inlet.

Decks and balconies that are required to be waterproofed are defective if they are not provided with adequate drainage and provision for overflow.

#### **Drainage systems for balconies and terraces - AS 3500.3 Clause 3.8**

New requirement that systems for draining balconies and terraces must be designed for 20 ARI events and for overflow, 100-year ARI events.



Inadequate overflow installed

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#### 3.7.3 Balcony

### **INADEQUATE FALL**

AS 4654.2 Waterproofing Membranes for External Above-Ground Use stipulates a fall requirement of no flatter than 1:100.



Only 5mm over 1200mm fall achieved. This should be 1200mm

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#### 3.7.4 Balcony

### **CLEANING**

## 19.8 Cleaning

Owners are entitled to expect that the building site and works are clean and tidy on completion. Where handover is delayed for any reason, the owner must expect that dust may have settled on interior exposed surfaces.

Building sites are defective if they are not clear of building debris.

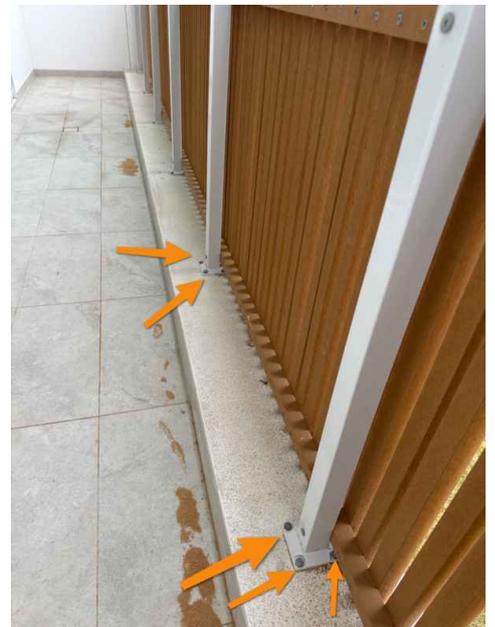
Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned, and shelving, drawers and cupboards are not ready for use.



### 3.7.5 Balcony

#### **POSSIBLE WATERPROOF PENETRATION**

Likely penetration of the waterproofing due to the balustrade fixing penetrating the substrate with no evidence of additional waterproofing.



### 3.12.1 Pool

#### **CRACKED, CHIPPED OR SCRATCHED TILES**

##### **12.5 Cracked, pitted, chipped, scratched or loose tiles - The guide to standards and tolerances 2017 NSW**

Tiles are defective if they are cracked, pitted, chipped, scratched or loose at handover.

After handover, tiles are defective where the builder's workmanship causes the tiles to become cracked, pitted, chipped or loose within 24 months.



Cracked tile around pool

### 3.12.2 Pool

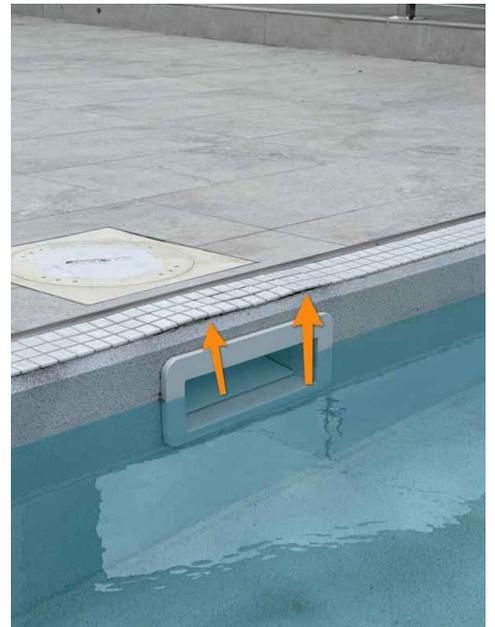
#### **GROUT DEFECTIVE**

***Grout is defective as it is loose and missing - The guide to standards and tolerances 2017 NSW***

#### 12.6 Grouting and joints

*Grouting is defective if it is not carried out in accordance with the requirements of Clause 5.7 of AS 3958.1.*

*Joints are defective if they are not, as far as is practicable, of consistent width and can be seen from a normal viewing position.*



Tile lift has occurred due to grout deterioration

### 3.15.1 Driveways and paths

#### **EXPANSION JOINT**

Isolation joints missing between the concrete path and the building.

Expansion Joints or Isolation joints (controlling substrate expansion and contraction) that penetrate through the entire thickness of the slab. Expansion joints, also known as movement joints are used to control both shrinkage and expansion due to temperature variation and moisture ingress over time. Often wide, they are intended to accommodate movements that exceed those associated with the masonry itself.

3.15.2 Driveways and paths

**INADEQUATE FALL AWAY FROM BUILDING**

**Surface water drainage 2019: 3.1.3.3 - NCC Volume 2**

Surface water must be diverted away from a Class 1 building as follows: Slab-on-ground — finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (see Figure 3.3.3a) —

25 mm over the first 1 m from the building—

in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or

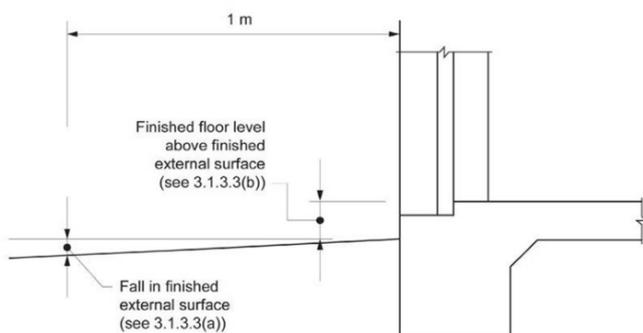
for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1(2) or (4)(c) of the ABCB Standard for Livable Housing Design; or

50 mm over the first 1 m from the building in any other case.



Only 8mm fall over 1200mm. This should be 20mm

Figure 3.1.3.2 Site surface drainage



## 4: ROOF

		F	R	M	U	N
4.1	Coverings	X				
4.2	Gutters	X				
4.3	Downpipes	X				
4.4	Flashings/cappings		X			

F = Condition Visually Fine    R = Repair Recommended    M = Major Defect    U = Unable to inspect due to access    N = Not Applicable

### Limitations

Coverings

**GENERAL DISCLAIMER**

Refer to Section 2C of the Terms And Conditions section of this report

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Downpipes

## **BLOCKAGES/CONNECTION LIMITATION**

No comment can be made with regard to blockages, connections to storm water or functionality in the absence of rain. Periodic maintenance checks should be carried out for rust penetrations and leaks

## **Defects**

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4.4.1 Flashings/cappings

### **FLASHING GAPS**

#### **6.2 Roof cladding**

*Staining, folds, splits, dents, open joints between panels, cracking and other distortions in roof cladding is defective if it is visible from a normal viewing position at ground level or an upper floor level.*

*Any corrosion of roof cladding is defective unless it is caused by a lack of maintenance or damaged by the owner.*



Excessive gap between flashing and brickwork

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4.4.2 Flashings/cappings

### **NO PRESSURE FLASHING INSTALLED**

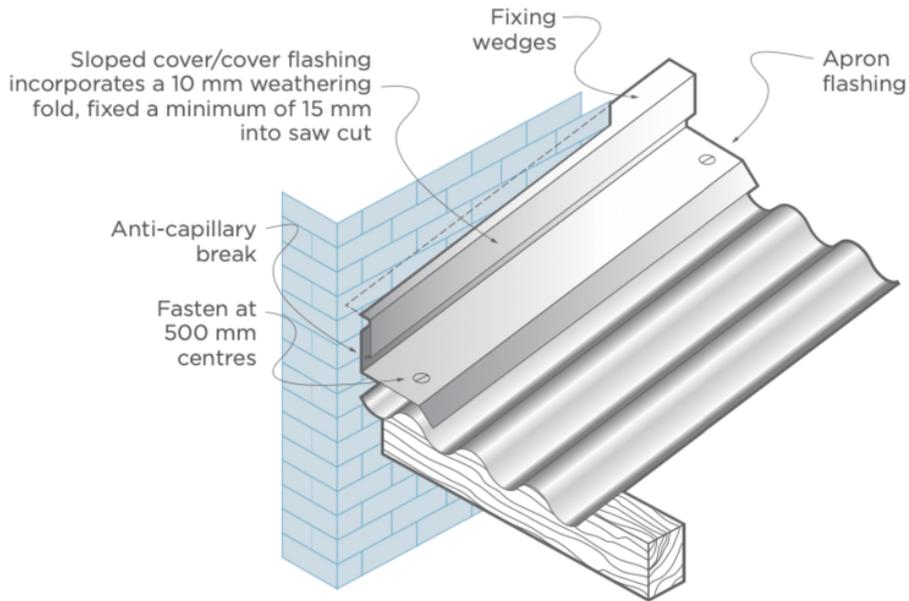
#### **8.5 Flashings - NSW Guide to standards and tolerances 2017**

*Flashings are defective if they are not provided in accordance with the requirements of the Building Code of Australia.*

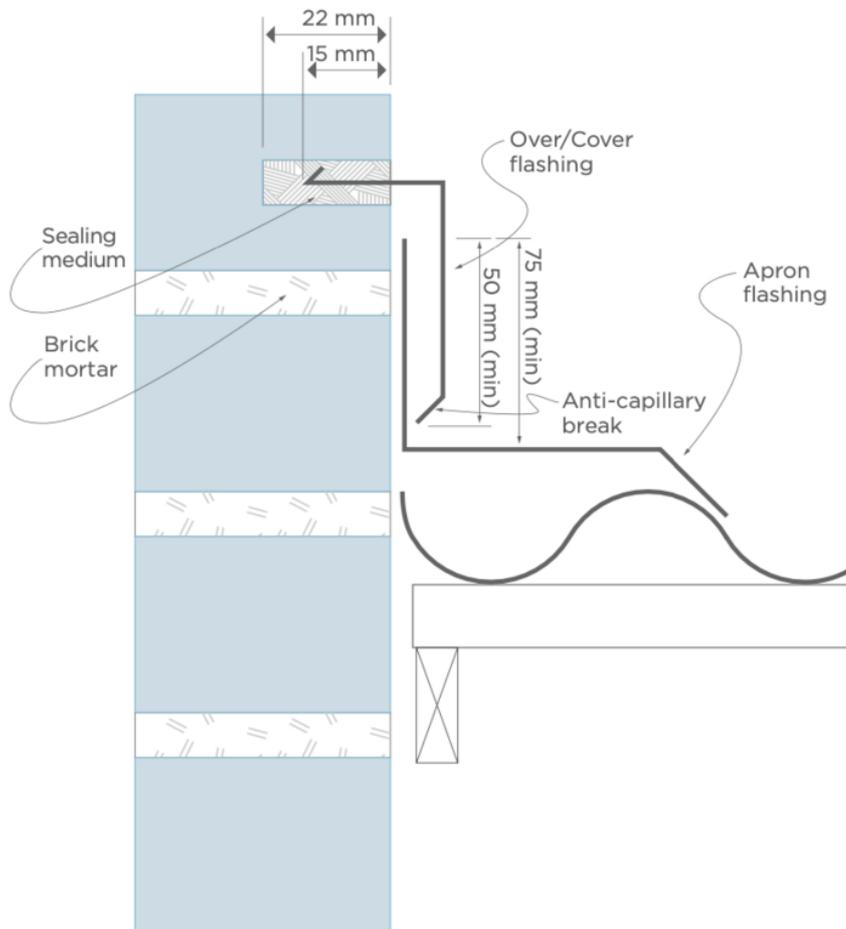
*Wall and step flashings, and sloping flashings cut into walls are defective if they do not incorporate weathering folds, anti-capillary breaks and sealing, or do not enter the masonry walls by at least 15 mm as shown in Diagram 8.06 and Diagram 8.09.*

*Pressure flashings are defective if they are not fixed on appropriate surfaces, or are not fixed in accordance with Diagram 8.11.*

**DIAGRAM 8.08** FLASHINGS



**DIAGRAM 8.09** FLASHINGS



**B** Sloping wall cut method



Poor workmanship and a pressure flashing should be installed over the top of this flashing. This is non compliant works

## 5: TERMITE BARRIER

	F	R	M	U	N
F = Condition Visually Fine	R = Repair Recommended	M = Major Defect	U = Unable to inspect due to access	N = Not Applicable	

### Information

#### Should this new building have a termite management system installed?

- Yes
- 3.1.4.2 Requirements for termite management systems (NCC)
- (a) The requirements of this Part apply where:
- (i) a Class 1 or 10 building is constructed in an area where subterranean termites are known to present a potential risk of attack; and
  - (ii) a primary building element of a Class 1 or 10 building is considered susceptible to termite attack.
- (b) For the purposes of (a), a primary building element consisting entirely of, or a combination of, any of the following materials is considered not subject to termite attack:
- (i) Steel, aluminium or other metals.
  - (ii) Concrete.
  - (iii) Masonry.
  - (iv) Fibre-reinforced cement.
  - (v) Timber — naturally termite resistant in accordance with Appendix C of AS 3660.1.
  - (vi) Timber — preservative treated in accordance with Appendix D of AS 3660.1.

## Was a durable notice found?

Yes

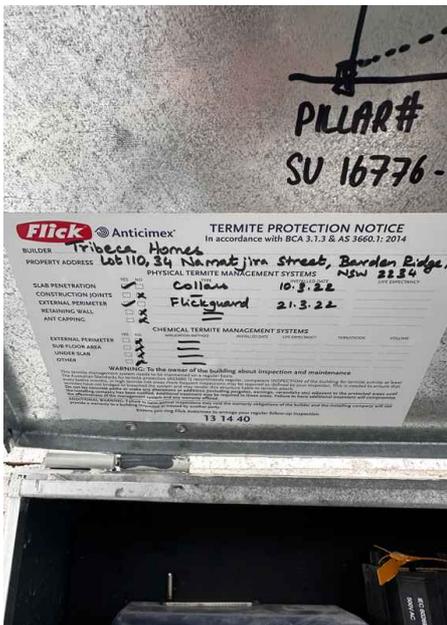
A durable notice must be permanently fixed to the building in a prominent location, such as in a meter box or the like, indicating—

(a) the termite management system used; and

(b) the date of installation of the system; and

(c) where a chemical is used, its life expectancy as listed on the appropriate authority's register label; and

(d) the installer's or manufacturer's recommendations for the scope and frequency of future inspections of termite activity.



## Type of barrier installed?

Pre construction physical barrier

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# STANDARDS OF PRACTICE

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## Inspection Details

### DEFINITIONS AND TERMINOLOGY

**SERVICEABLE:** The building material or component is in reasonable or serviceable condition for the age of the dwelling.

**TRADESMAN:** A defect or a number of defects were visible that will require assessment by a qualified trades person.

**AGE:** The component has deterioration due to ageing or lack of upkeep and or maintenance. **MONITOR:** Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

**STRATA:** In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

**HIGH:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**TYPICAL:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

**LOW:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**ABOVE AVERAGE:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction. **AVERAGE:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**BELOW AVERAGE:** The building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building.

**SIGNIFICANT ITEMS:** An item that must be reported in accordance with the scope of the inspection.

**MAJOR DEFECT:** A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**MINOR DEFECT:** Any defect other than what is described as a Significant Item or major defect. **SAFETY HAZARD:** A defect that presents unsafe conditions and must be reported as a Major defect.

**ACCESSIBLE AREA:** Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

**LIMITATION:** A factor that prevents full or proper inspection of the building.

### IMPORTANT INFORMATION

Important information regarding the scope and limitations of the inspection and this report. Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the scope and limitations of the inspection, form an integral part of the report. The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time and date of the visual inspection. An estimate of the cost of rectification of defects is outside the scope of Australian Standard AS 4349 and does not form part of this report. If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of that particular residential dwelling. The inspection does not cover common property. This report and any other attached report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential. Further, this report is not intended to be used as a marketing tool by and real-estate agents and only the person named in the CLIENT INFORMATION section of the report shall this report apply to as it is assumed and agreed that the person who orders the report is indeed the person purchasing the property inspected. Where a report is ordered on behalf of a CLIENT it is assumed that the terms and condition and Pre Inspection Agreement have been fully explained to the CLIENT by the person or company ordering the report.

We strongly advise that any cracking reported in this report should be referred to a structural engineer for further assessment and advice. Please refer to Cracking Of Building Elements in section 2G of these Terms And Condition  
**Acceptance Criteria:** The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Limitations:** This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase. As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

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Safe and Reasonable Access: Only areas to which safe and reasonable access is available were inspected. The Australian Standard AS4349.1 or AS4349.0 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arms length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.  
Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder.  
Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

1) NOT A CERTIFICATE OF COMPLIANCE: This report is not an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too a large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) VISUAL INSPECTION: This is a visual inspection only limited to those areas and sections of the property safe that are fully accessible safe to access and visible to the inspector on the date of inspection.

2A) Please refer to each individual area regarding sections that were incapable or being inspected. Please acknowledge the following. Where a complete inspection of some areas listed through the report may not have been physically possible (due to but not limited to - storage, furniture, beds, personal belongings in cupboards and/or wardrobes, the 2nd storey roofing, gutters, fascia, flashings and the like, low clearance in sub floor or roof void areas, ducts and deep insulation restricting access in roof voids, sub floor restrictions including plumbing, ducts, low clearance, no access doors or access doors too small and the like) then it follows that defects, timber pest activity and/or damage may exist in these areas. To adequately inspect these restricted areas, ducts and floor boards may need to be removed, furniture moved, cupboards and wardrobes emptied which will be difficult to carry out. This will obviously be difficult to carry out due to time restrictions and permission would need to be obtained from the property owner.

This Firm DOES NOT GUARANTEE IN ANY WAY that there ARE OR ARE NOT any defects, termite damage or live termites in any areas not inspected. To obtain a full understanding of the report findings, it is essential you read the entire inspection report, including the information sections at the end of this report and I encourage you to call me if you have any queries at all before purchasing the inspected dwelling.

2B) Entering attics or roof voids that are insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

2C) The roof covering will not be walked upon if in the opinion of the inspector it is not safe to do so. Generally issues that prevent roof access include, access height over 3 metres, steep pitch, wet/slippery surfaces, deteriorated covering. Not being able to walk a roof significantly limits our inspection, which can result in hidden defects going undetected. The overall condition of the roofing and its components is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. We offer no guarantee that the roof cladding or roof components such as flashing will not leak in the future.

2D) Limitations to the exterior inspection this is a visual inspection limited in scope by (but not restricted to) the following conditions: A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report. Please note. If any wall cracking/cracks/openings are found at this dwelling, we cannot offer any guarantee that any visible wall cracks will not widen or lengthen over time or in the future as this is impossible to predict. We strongly recommend you contact a practicing structural engineer for further advice.

2E) Timber framed windows can bind or stick. This can be seasonal due to the fluctuation in moisture content in timber. If binding or sticking continues a carpenter may require adjustments. Binding windows is not normally a major defect, however in some circumstances binding windows and doors can be directly related to some differential footings settlement. If any timber fungal decay on frames or deteriorated putty seals is noted, the consultant will not attempt to operate windows due to potential damage. Windows that are sticking, binding or paint stuck will also not be forced open. Water leaks to windows and surrounds cannot be determined in the absence of rain. 2F) Internal Inspections. Carpets and or other floor coverings, cupboards/cabinets, joinery, finishes and fittings, normally obstruct inspection to the upper-side of flooring. Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained. The condition of walls behind wall coverings, panelling and furnishings cannot be inspected or reported on. Only the general condition of visible areas is included in this inspection. Where fitted. Wood burning and other forms of fireboxes are outside the scope of this inspection. We recommend you have these tested prior to purchase for peace of mind.

2G) Cracking of Building Elements: Regardless of the type of crack(s) the inspector carrying out a visual inspection is unable to determine the expected consequences of the cracks. As a crack on the day can be 1mm wide but may have the potential to develop over time into structural problems for the home owner resulting in major expensive rectification work.

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Information required to determine the consequences of a crack:  
Nature of the foundation material on which the building is resting

- a) The design of the footings
- b) The site landscape and topography
- c) The history of the cracks

All these factors fall outside the scope of this inspection. However the information obtained from the items above are valuable in determining the expected consequences of the cracking and any remedial work.

Cracking Categories:

Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:

0-Hairline cracking, less than 0.1mm,

1-Fine cracks that do not need repair, less than 1.0mm,

2-Noticable cracks, yet easily filled 1mm - 5.0mm,

3-Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Weather tightness can be impaired, 5.0mm -15.0mm,

4-Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm. **IMPORTANT:** Regardless of location or size if cracks have been identified then a structural engineer is required to determine the significance of the cracking prior to a decision to purchase. **2H) Important Note:** Where any elevated structure (deck, balcony, veranda etc.) is present, and this elevated structure is designed to accommodate people, you must have this structure checked by an engineer or other suitably qualified person. You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance that may become necessary is identified. Care must be taken not to overload the structure. Nothing contained in this inspection should be taken as an indicator that we have assessed any elevated structure as suitable for any specific number of people or purpose. A qualified engineer can only do this. For the purpose of this report, the structure includes elevated decks; verandas, pergolas, balconies, handrails, stairs and children's play areas. Where any structural component is concealed by lining materials or other obstructions, these linings or obstructions must be removed to enable an evaluation to be carried out by an appropriately qualified person.

3) **CONCEALED DEFECTS:** This report does not and cannot make comment upon: Defects that may have been concealed the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects e.g. In the case of shower enclosures and bath tubs, the absence of any leaks or dampness at the time of the inspection does not necessarily mean that the enclosure will not leak after use) the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

4) **NO GUARANTEE:** Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

5) **SWIMMING POOLS:** Swimming pools/spas are not part of the standard building report under as4349.1-2007 and are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

6) **SURFACE WATER AND DRAINAGE:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Have water directed away from the house or to storm water pipes by a licensed drainage plumber. The general adequacy of site drainage is not included in the standard property inspection report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time; surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this report are relevant only to the conditions present at the time of inspection. It is recommended that a smoke test be obtained to determine any illegal connections, blocked or broken drains.

7) **SHOWER RECESSES:** All Shower areas are visually checked for leakage, but leaks often do not show except when the shower is in actual long-term use. Determining whether shower areas, bath/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future. Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on the shower recesses are limited to running water within the recesses and visually checking for leaks as showers are

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only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

8) **GLASS CAUTION:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

9) **STAIRS AND BALUSTRADES:** Specifications have been laid down by the National Construction Code Section 3.9 covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

10) **RETAINING WALLS:** Where retaining walls are more than 700mm high these wall/s should have been installed with engineering design and supervision. Walls found on the site were not assessed and the performance of these walls is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

11) **ROOMS BELOW GROUND LEVEL:** If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make his or her own enquiries with the Council to ascertain if approval was given.

12) **ASBESTOS DISCLAIMER:** No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.

13) **MOULD (mildew and non-wood decay fungi) disclaimer:** Mildew and non-wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided.

14) **MAGNESITE DISCLAIMER:** No inspection for Magnesite flooring was carried out at the property and no report on the presence or absence of Magnesite flooring is provided. You should ask the owner whether Magnesite flooring is present and/or seek advice from a structural engineer.

15) **ESTIMATING DISCLAIMER:** No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman prior to a decision to purchase.

16) **DISCLAIMER OF LIABILITY:** No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report) Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT"

17) **DISCLAIMER OF LIABILITY TO THIRD PARTIES:** Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at his or her own risk.

18) **COMPLAINTS PROCEDURE:** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by arbitration. The Arbitrator will also determine what costs each of the parties are to pay.

#### **OTHER RECOMMENDED INSPECTIONS**

Electrical installation: All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The

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inspection of any electrical item is outside the scope of this report. Plumbing: All plumbing including septic tanks need to be inspected and reported on by a plumber. Hot water service: Hot water services need to be checked by a plumber and/or electrician.

Gas: All gas services need to be inspected and reported on by a gas plumber.

Phone: All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician.

Smoke Alarm: Australian standard AS3786 advises that smoke alarms are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or to install smoke alarms.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground.

Contact the inspector: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

### **Exterior**

I. The inspector shall inspect: A. the exterior wall-covering materials, flashing and trim; B. all exterior doors; C. adjacent walkways and driveways; D. stairs, steps, stoops, stairways and ramps; E. porches, patios, decks, balconies and carports; F. railings, guards and handrails; G. the eaves, soffits and fascia; H. a representative number of windows; and I. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion. II. The inspector shall describe: A. the type of exterior wall-covering materials. III. The inspector shall report as in need of correction: A. any improper spacing between intermediate balusters, spindles and rails. IV. The inspector is not required to: A. inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting. B. inspect items that are not visible or readily accessible from the ground, including window and door flashing. C. inspect or identify geological, geotechnical, hydrological or soil conditions. D. inspect recreational facilities or playground equipment. E. inspect seawalls, breakwalls or docks. F. inspect erosion-control or earth-stabilization measures. G. inspect for safety-type glass. H. inspect underground utilities. I. inspect underground items. J. inspect wells or springs. K. inspect solar, wind or geothermal systems. L. inspect swimming pools or spas. M. inspect wastewater treatment systems, septic systems or cesspools. N. inspect irrigation or sprinkler systems. O. inspect drainfields or dry wells. P. determine the integrity of multiple-pane window glazing or thermal window seals.

### **Roof**

The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashings, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors, or stairs.

The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris, or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspector's opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.